

ISLAMIC SOCIETY OF GREENVILLE

STREET ADDRESS: 96, MERIDIAN AVE., TAYLORS, SC 29687
MAILING ADDRESS: P.O. BOX 25721, GREENVILLE SC 29616
WWW.GREENVILLEMASJID.COM
PHONE: (864)292-2219

Architect Engineer

David Nocella, AIA

210 Altamont Road Greenville SC, 2909

Phone (864) 640-6014

E-Mail dnarch@bellsouth.net

General Contractor

John Broadbent

Intercon Construction

14 McKenna Commons Court

Greenville, SC 29615

864/331-0575 Phone

864/331-0576 Fax

864/915-2868 Cell

Testing and Engineering Firm

Douglas R. Dunko, PE or Matthew Christie, PE

Senior Geotechnical Engineer, Testing Manager

EAS PROFESSIONALS, INC.

153 Brozzini Court, Suite C

Greenville, SC 29615

Office: (864) 234-7368 (Ext 11)

Fax: (864) 234-7369

Cell: (864) 505-5866 or 551-9998

CONTRACTOR AGREEMENT

Upstate Islamic Center

AGREEMENT made and effective this 11 day of February 2010 by and between **Islamic Society of Greenville**, a South Carolina non profit organization with a usual place of business at **96 Meridian Avenue, Taylors SC 29687** hereinafter called "**Owner**" and **International Construction, LLC**, a South Carolina company with a usual place of business at **14 McKenna Common Court, Greenville SC 29615** herein called "**General Contractor**"

WHEREAS, General Contractor has entered into a Construction Contract with the **Owner**, for work described herein to be performed in accordance with all the terms and conditions which are set forth herein and used by the General Contractor, shall include but not limited to, a Turn Key Building 8,000 SF as A MULTI-PUROSE FACILITY as described on the drawing of David Nocella Architect Project plans for Upstate Islamic Center Phase I and INSTALLING a minimum of 1000 gallons complete SEPTIC TANK SYSTEM AS REQUIERD BY SC DHEC. Location maps refer to as **Exhibit A, A1**.

WHEREAS The General Contractor is having examined the said Project Drawings, location maps and the site or sites of operations to be conducted thereunder, is desirous of entering in to a Contract with the Owner on the basis of the terms and conditions hereinafter set forth.

WITNESSETH that the General Contractor and Owner for the consideration hereinafter named agree as follows:


ARTICLE 1 – WORK TO BE PERFORMED

- 1.1 The General Contractor shall furnish and pay for all work, labor, equipment, tools, testing and shall assume, perform, and furnish everything necessary for the prompt execution and proper completion of the worked described herein, all in complete in accordance with the Project Drawings, state and county regulation and in compliance with local Building Codes.
This is a Lump Sum price contract for the amount of Five Hundred and Sixty Thousand Dollars and 0/100 (\$560,000.00).

Description of Work

General Contractor shall furnish all labor, material, equipment and supervision necessary to build A MULTI-PUROSE FACILITY and a Septic Tank System on the property of the Owner located at 1601 Clement Road Taylors, SC 29687 according to the plans and specifications prepared by David Nocella Architect dated 12-2-2009 and SC DHEC **Exhibit A, A1** and made as part of this agreement.

- 1.2 General Contractor shall at all time, without extra charge, clear the premises of debris and excess material caused by its operations as the work progresses.
- 1.3 Said work to be performed and prices thereto are set out as described in Article 1 (1.1) and made part of this agreement to include but not limited to **Exhibit B** dated 12-17-2009 made reference to the Alternate(S) #1 thru #6.
- 1.4 Upstate Islamic Center Project Drawings dated 12-2-2009 by David Nocella Architect and SC DHEC **Exhibit A, A1** is part of this agreement.

General Contractor  2/11/10

Owner  2/11/10

- 1.5 Owner to deliver and install all interior and exterior doors and windows including the hardware

ARTICLE 2 – TIME OF PERFORMANCE

- 2.1 Time is of the essence of this Agreement, the General Contractor shall commence work upon the signing of this agreement and shall promptly and expeditiously perform said work in accordance with the instructions of the Project Plans using labor, which can work in harmony with Owner, General Contractor shall use labor, approved material, equipment, and tools in such quantities and of such types as the General Contractor and the Owner may from time to time deem necessary. All Work phases shall be completed and General Contractor shall obtain an Occupancy Permit for the Owner no later than 160¹⁷⁷ calendar days from the effective date of this signed agreement. If the General Contractor fails to satisfactory complete the work and obtain Occupancy Permit for the owner within the specified time, ^{2/11/11} liquidated damages of Five Hundred Dollars (\$150.00) per calendar day shall be assessed up to the value of the contract. The penalty may be drawn from any payment due at the discretion of the Owner. No time extension shall be given beyond August 7, 2010.
- 2.2 The Subcontractor agrees to attend mandatory weekly coordination meetings if required by the Owner. The attendee shall be an officer of the Corporation or an employee approved by the Owner.

ARTICLE 3 – INSURANCE

- 3.1 The General Contractor shall maintain and pay for all insurance of the type and Owner shall be named as Additional Insured with the limits as set forth by Owner but not limited to:
- 3.1.1 Comprehensive General Liability and Automobile Liability:
- \$1,000,000 per occurrence to include products
 - \$1,000,000 bodily injury and/or property damage
- 3.1.2 Statutory Worker's Compensation:
- Coverage A – State of South Carolina
 - Coverage B – Employers liability
 - \$1,000,000 each accident and/or disease, per employee
- 3.2 The General Contractor agrees to furnish, maintain and keep in force insurance during the life of this agreement, which shall insure all its equipment and tools, and any tools and equipment rented for use on this project. General Contractor shall ensure that any and all subcontractors working under this agreement are insured. Owner assumes no liability.

ARTICLE 4 – TAXES, LICENSES, AND COMPLIANCE WITH PUBLIC LAWS

- 4.1.1 General Contractor is a licensed in the State of South Carolina and shall pay the amount of any and all taxes whatsoever levied against the contract as a consequence of any operations conducted under this agreement.
- 4.1.2 General Contractor shall be responsible for Best Management Practice and CPESCI on site.

General Contractor _____
Owner _____

John B. [Signature]

2/11/10
2

ARTICLE 5 – PAYMENT TERMS

- 5.1 Owner agrees to pay General Contractor as described in Article 1 (1.1) for services provided, completed and accepted by Owner and Greenville County Building Standards.
- 5.1.1 General Contractor will submit monthly invoice, such invoice shall include a detailed listing of charges. Owner will review invoice and may seek advice from David Nocella Architect. Owner shall notify General Contractor within (10) Days of receipt of any dispute with the invoice and General Contractor, upon such notice, shall provide back up date to Owner. Owner and General Contractor will, thereafter, promptly resolve any dispute items. Payment on undisputed invoice amounts is past due thirty (30) days from date of invoice received. Owner shall have the right to hold (5%) from any payment due. The amount withheld shall be released to General Contractor upon satisfactory completion and Occupancy Permit is issued by Greenville County.
- 5.1.2 Approval and/or payment of such invoices shall not in any way relieve the General Contractor of its liability to Owner for any deficiencies.
- 5.1.3 General Contractor must provide all necessary documentations and paperwork for approval of invoices.
- 5.1.4 Defective work not remedied by General Contractor to the satisfaction of the Owner or for which General Contractor has failed to initiate within reasonable time, Owner shall have the right to withhold payment.
- 5.1.5 Failure by General Contractor to pay any subcontractor or others in a prompt fashion the amounts due, Owner shall have the right to withhold payment until issue(s) resolved.
- 5.1.6 Owner may withhold payment if any damaged to Owner or third party to whom the Owner is or may be, liable and for which the General Contractor is liable.
- 5.1.7 Owner may withhold payment if evidence that the balance of work cannot be completed in accordance with this agreement and/or work will not be completed in time required for final completion.
- 5.1.8 Owner shall have the right to Stop Work if General Contractor fails to perform work in accordance with this agreement and/or in unsafe manner.

ARTICLE 6 – CHANGES

- 6.1.1 Owner may at any time, in writing, and within the general scope of this agreement make “Request for Changes” in the services or work to be performed. In the event General Contractor is requested to perform additional services or work not contemplated by this agreement, General Contractor will promptly notify Owner if such changes causes and increase in General Contractor cost of, or time required for performance of any services, an equitable adjustment shall be made in writing to accommodate for increase in cost or completion time.
- 6.1.2 All change order must be in writing to be valid.
- 6.1.3 Owner may add to or reduce the scope of work by generating mutually agreed upon contract exhibit(s) to this basic agreement.

General Contractor  2/11/10 3
Owner _____

ARTICLE 7 – WARRANTIES

- 7.1 In addition to any express and/or implied warranties provided to Owner by law, General Contractor warrants to Owner that the performance of the services covered by this agreement will be competent to perform the task undertaken, that the product and services will yield only first-class results, General Contractor warranties materials, equipments and workmanship furnished will be of good quality and new. All work is found to be defective or not in accordance with any regulation, does not conform to these requirements and/or unacceptable by the Owner within one (1) year after completion of the contract services, General Contractor will promptly correct the work without any additional cost to the Owner. Upon written notice from Owner. All corrective work shall be completed within ten working (10) days of receipt of written notice from Owner.
- 7.2 General Contractor shall perform all necessary Punch List Items at the time of completion and General Contractor agrees to a (60) day Punch List Items to be corrected and a (1) year Punch List Items to be preformed at no cost to Owner.
- 7.3 Establishment of the one year time period in this section is from the date of Final Building Inspection and the issue of Certificate of Occupancy (CO) to Owner.
- 7.4 General Contractor understands and agrees to use and maintain the dirt driveway as a construction entrance. General Contractor shall not be permitted to use the asphalt entrance nor the asphalt parking lot during construction. General Contractor assumes any damage to parking lot pavement.

ARTICLE 8 – ASSIGNMENT

- 8.1 Neither this General Contractor nor any of the funds due or becoming due hereunder may be assigned or sublet by the General Contractor without the prior written consent of the Owner.

ARTICLE 9 – INDEMNIFICATION

- 9.1 General Contractor agrees to assume responsibility for any damages, loss, or injury, including death of any kind or nature whatever to person or property including employees and property of Owner, caused by or resulting from any negligent act or omission of General Contractor or its subcontractors arising from the performance of the work under this agreement. General Contractor shall defend, indemnify, and hold harmless Owner and all of its officers, servants or employees from and against any and all claims, loss, injury, damage, charges or expense to which they or any of them may be put or subjected by reason of any such claims or actions are rightfully or wrongfully brought or filed.

General Contractor _____
Owner _____

2/11/10
4

ARTICLE 10 – SEVERABILITY

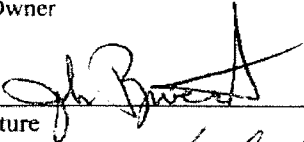
10.1 Any article or provision of this contract, which may be deemed in violation of law, shall not affect in any manner the remaining provisions of this Contract.


IN WITNESS WHEREOF, the parties hereto have executed this Agreement as of the date hereinabove written.


General Contractor

International Construction, LLC.
14 McKenna Common Court
Greenville, SC 29615

By: John Broadbent
Owner

Signature 

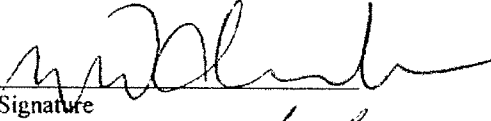
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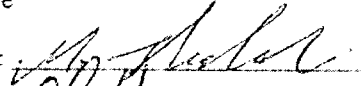
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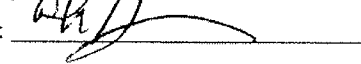
Owner

Islamic Society of Greenville
96 Meridian Avenue
Taylors, SC 29687

By: Mazen AbuShanab
President

Signature 

Witness: 

Witness: 

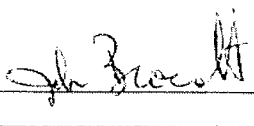

General Contractor  2/11/15
Owner 

Exhibit B

BID FORM (revised 12-17-09) THE UPSTATE ISLAMIC CENTER

To Islamic Society of Greenville, 1601 Clement Road, Greer SC

I. The undersigned, having examined the construction documents titled:

Upstate Islamic Center, Phase One. 12-02-09, Issued for Bids
and having examined the following addenda:

and having visited the site and examined the conditions affecting the work, hereby proposes and agrees to furnish labor, materials, equipment and to perform the operations necessary to complete the work as required by the construction documents, for the stipulated sum of:

Building Shell Dollars (\$ 245,300.00). Base Bid
Finish-out Dollars (\$ 301,200.00). Base Bid

And that a modification of the scope of work based on the **Alternates** listed in the documents will modify the base bid as follows

Alternate # 1 Carpet Tile

Add Deduct Amount: \$16,500.00

Alternate # 2 Loggia

Add Deduct Amount: \$16,750.00

Alternate # 3 Concealed Fastener Exterior Wall Panel

Add Deduct Amount: \$ 12,300.00

Alternate # 4 Simple Saver Roof System

Add Deduct Amount: \$7,684.00

Alternate # 5 R-19 batt insulation with vapor retarder per Detail A6/A-5

Add Deduct Amount: \$400.00

Alternate # 6 Media control station in mezzanine per Note # 8 Sheet E3

Add Deduct Amount: \$150.00

(continued)

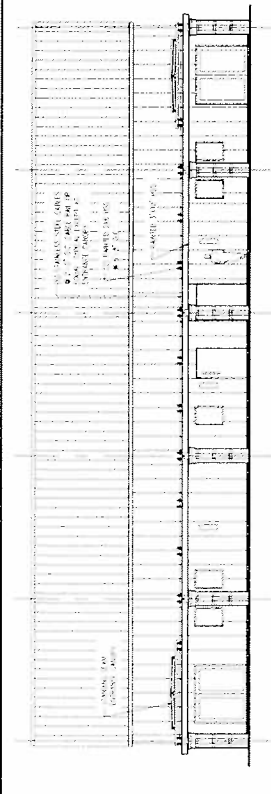
John Brown 12-17-09

2/11/10 Rev. Amount of \$ 560,000.00

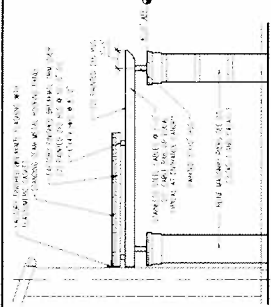
no change of Turn Key Building

All Alternate (1-6).

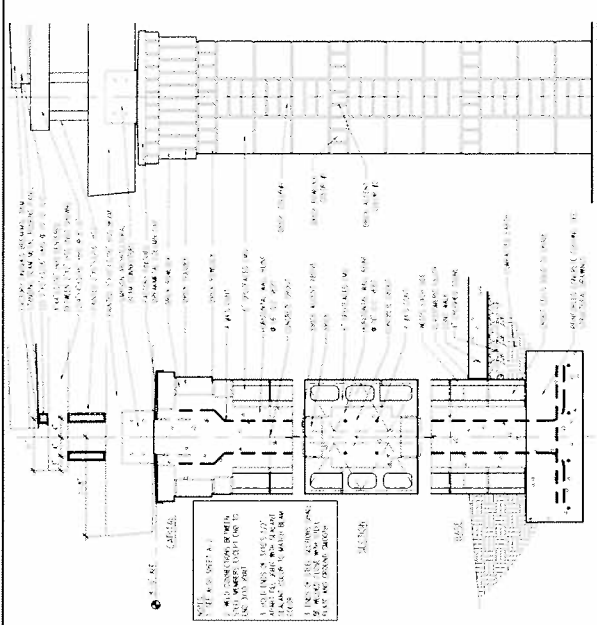
1/1/10



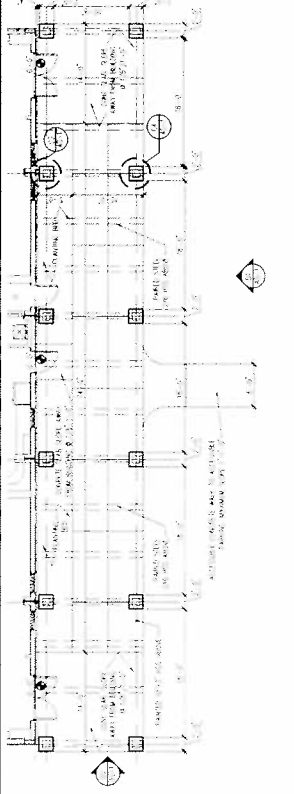
D1 1/4" = 1'-0" SOUTHWEST LOGGIA ELEVATION



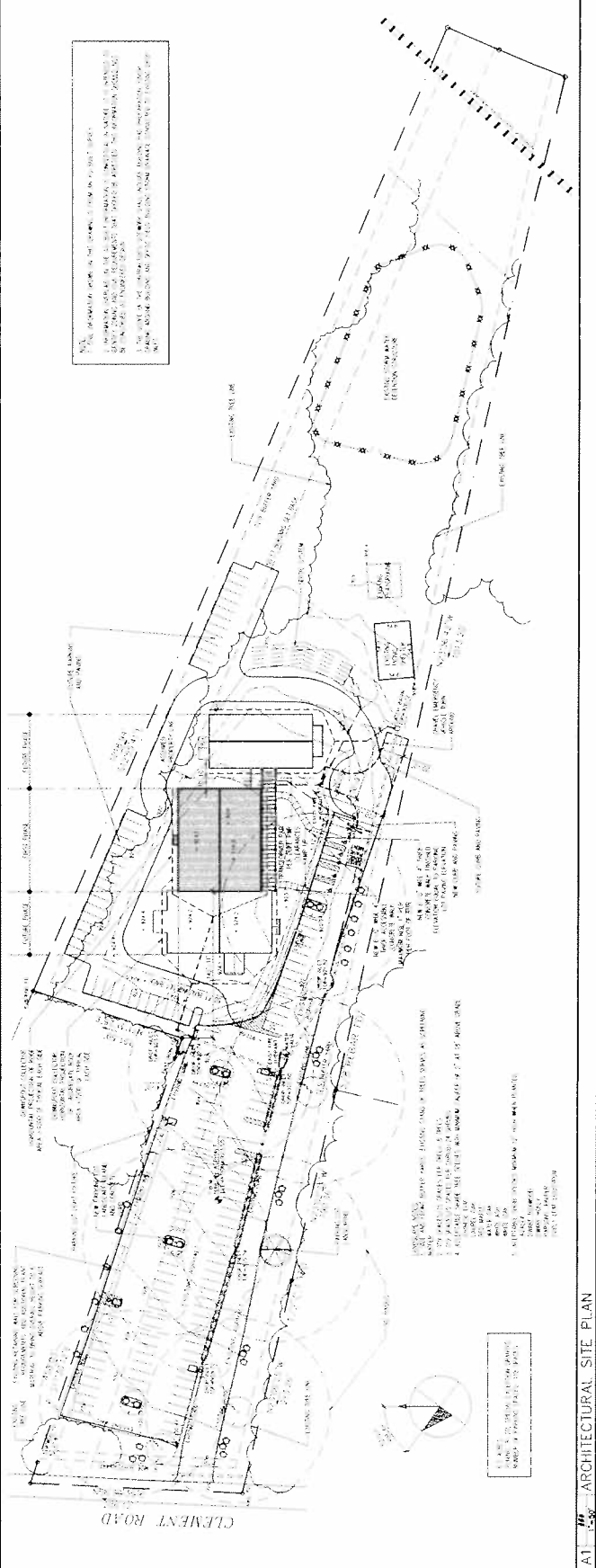
D2 1/4" = 1'-0" ENTRY CANOPY SIDE ELEV



C3 1/4" = 1'-0" PLAN DTL TRELLIS COLUMN C4 1/4" = 1'-0" TRELLIS COLUMN DETAILS



C1 1/4" = 1'-0" ADD ALTERNATE LOGGIA PLAN



A1 1/8" = 1'-0" ARCHITECTURAL SITE PLAN



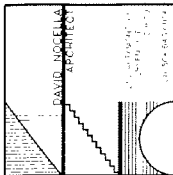
DAVID HOYLE ARCHITECTS
1601 CLEMENT ROAD
GREENVILLE, SC 29615
TEL: 864.633.1111
WWW.DHARCHITECTS.COM

A MULTI-PURPOSE FACILITY
FOR THE ISLAMIC SOCIETY
OF GREENVILLE
1601 CLEMENT ROAD
GREEN, SC 29650
TAX MAP # T10020100408
PERMIT#09-5-185

NO.	DATE	REVISIONS
1	BBS 12-02-09	

ARCHITECTURAL
SITE PLAN AND
SITE DETAILS

AS-1



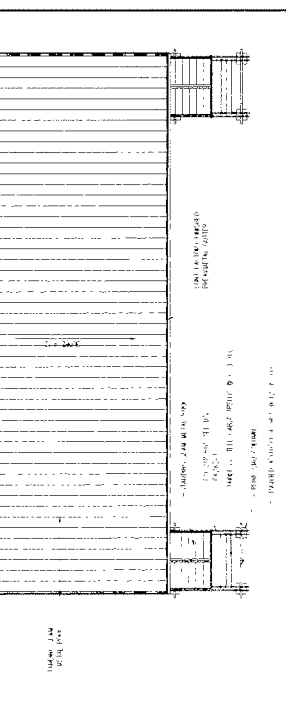
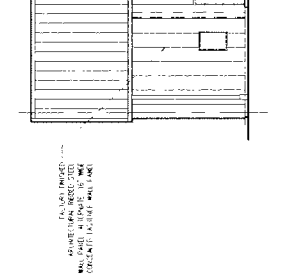
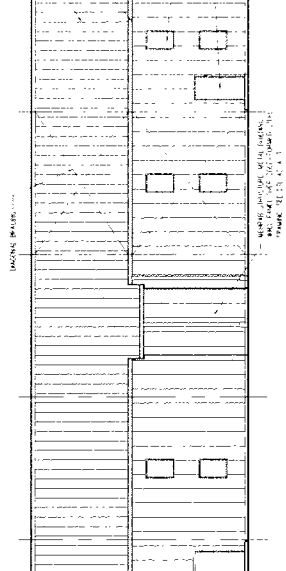
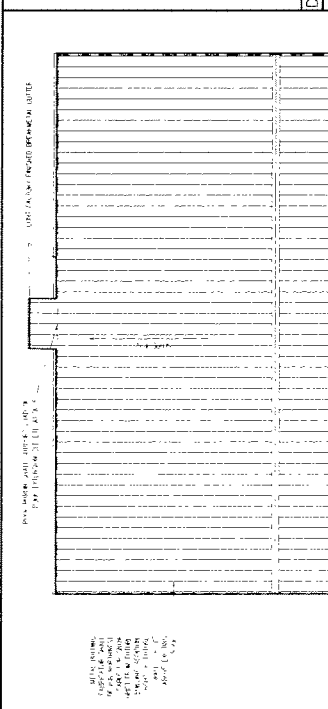
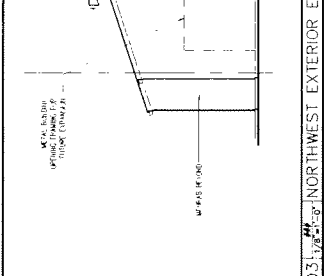
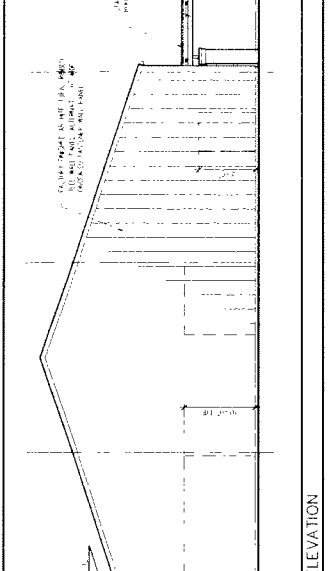
DAVID ROCELLA ARCHITECTS
 1601 CLEMENT ROAD
 GREEN, SC 29650
 PERMIT#09-5185

A MULTI-PURPOSE FACILITY
 FOR THE ISLAMIC SOCIETY
 OF GREENVILLE

1601 CLEMENT ROAD
 GREEN, SC 29650
 PERMIT#09-5185

ROOF PLAN
 REFLECTED CEILING
 PLAN
 EXTERIOR
 ELEVATIONS

A-2



REVISIONS

DATE OF
 B05 12-02-09

CEILING NOTES

2 1/4" X 4" X 1/2" LVL @ 24" O.C.
 2 1/4" X 4" X 1/2" LVL @ 24" O.C.
 2 1/4" X 4" X 1/2" LVL @ 24" O.C.

CEILING NOTES

CEILING NOTES

CEILING NOTES

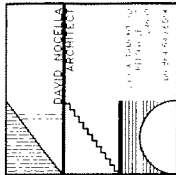
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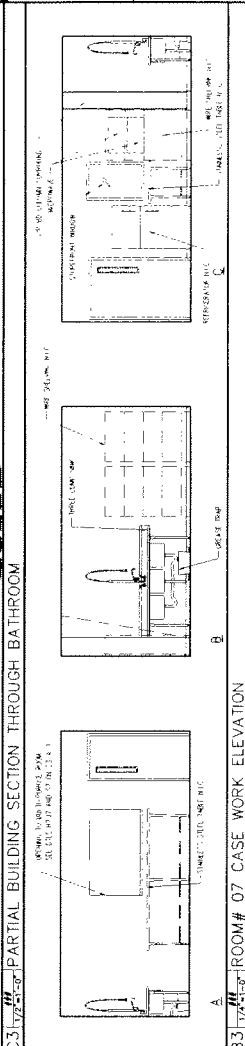
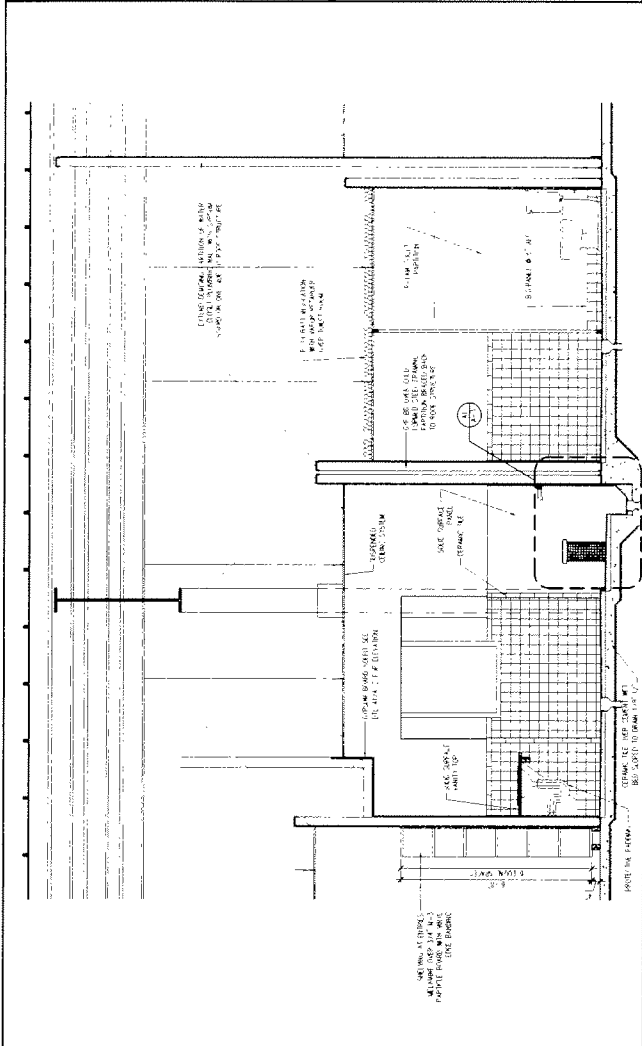
A MULTI-PURPOSE FACILITY
FOR THE ISLAMIC SOCIETY
OF GREENVILLE
1601 CLEMENT ROAD
GREENVILLE, SC 29650
TAX MAP # T10020100408
PERMIT#09-5185

REVISIONS

NO.	DATE	DESCRIPTION
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3	12-02-09	REVISED PER COMMENTS
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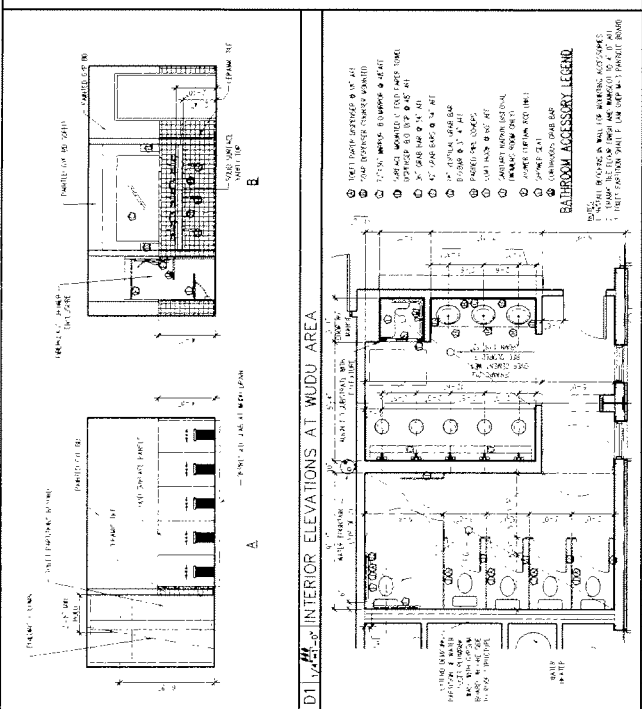
ENLARGED PLANS,
INTERIOR
ELEVATIONS AND
FINISH SCHEDULE

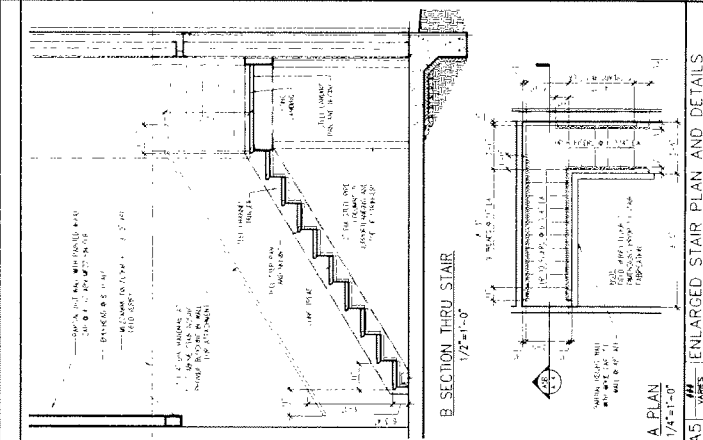
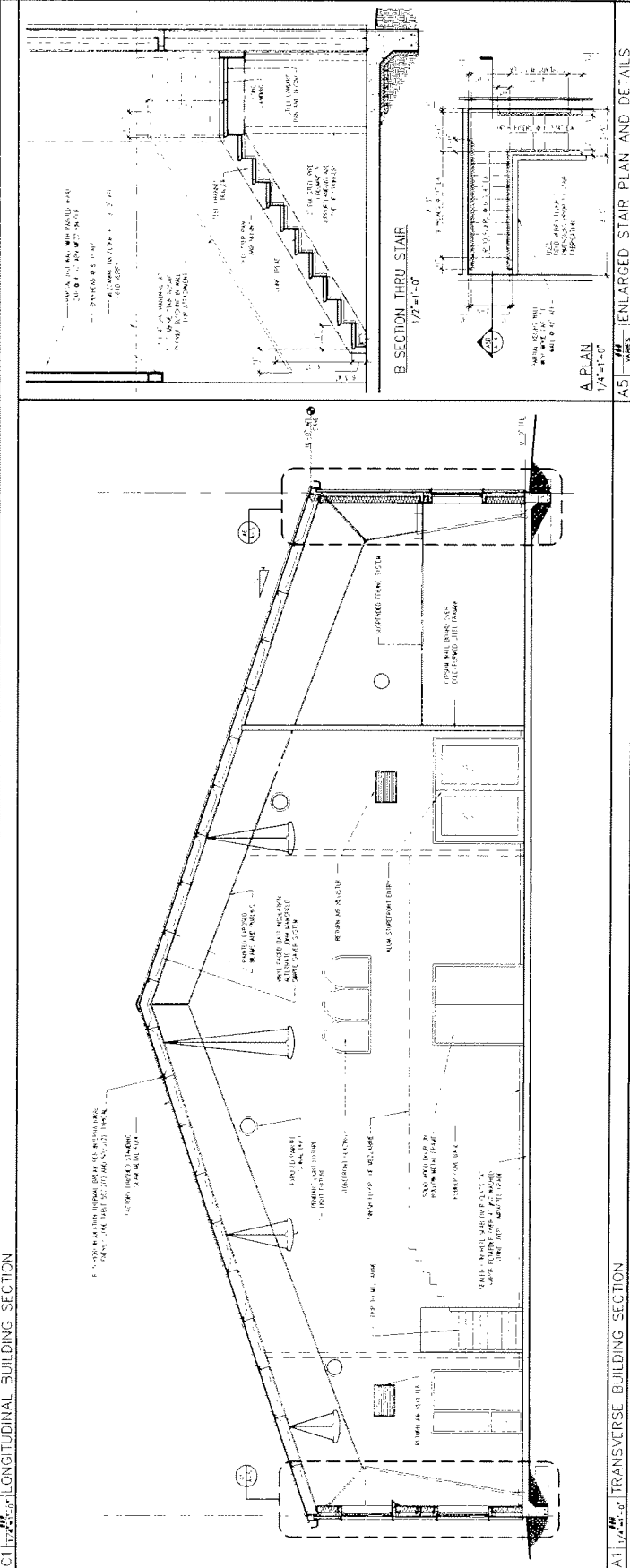
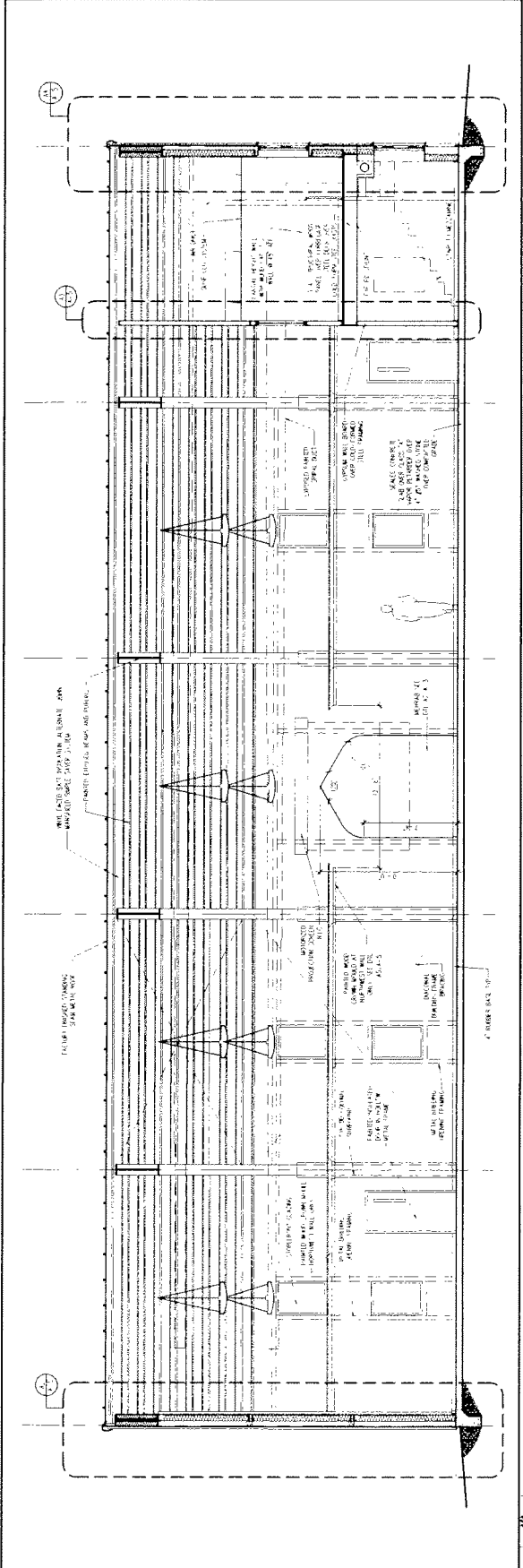
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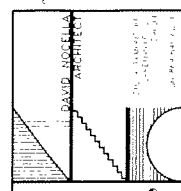


GENERIC FINISH SCHEDULE

NO.	DESCRIPTION	AMOUNT	UNIT	PRICE	TOTAL
01	INTERIOR PAINT	1000	SQ. YD.	1.50	1500.00
02	EXTERIOR PAINT	500	SQ. YD.	2.00	1000.00
03	CEILING GYPSUM BOARD	1000	SQ. YD.	0.50	500.00
04	WALL GYPSUM BOARD	2000	SQ. YD.	0.50	1000.00
05	FLOOR POLYURETHANE	1000	SQ. YD.	0.25	250.00
06	CONCRETE	1000	CY	100.00	100000.00
07	REINFORCING BARS	1000	LB.	0.50	500.00
08	FORMWORK	1000	SQ. YD.	1.00	1000.00
09	ROOFING	1000	SQ. YD.	1.00	1000.00
10	MECHANICAL	1000	SQ. YD.	1.00	1000.00
11	ELECTRICAL	1000	SQ. YD.	1.00	1000.00
12	PLUMBING	1000	SQ. YD.	1.00	1000.00
13	PAINT	1000	SQ. YD.	1.50	1500.00
14	CEILING	1000	SQ. YD.	0.50	500.00
15	WALL	2000	SQ. YD.	0.50	1000.00
16	FLOOR	1000	SQ. YD.	0.25	250.00
17	CONCRETE	1000	CY	100.00	100000.00
18	REINFORCING BARS	1000	LB.	0.50	500.00
19	FORMWORK	1000	SQ. YD.	1.00	1000.00
20	ROOFING	1000	SQ. YD.	1.00	1000.00
21	MECHANICAL	1000	SQ. YD.	1.00	1000.00
22	ELECTRICAL	1000	SQ. YD.	1.00	1000.00
23	PLUMBING	1000	SQ. YD.	1.00	1000.00
24	PAINT	1000	SQ. YD.	1.50	1500.00
25	CEILING	1000	SQ. YD.	0.50	500.00
26	WALL	2000	SQ. YD.	0.50	1000.00
27	FLOOR	1000	SQ. YD.	0.25	250.00
28	CONCRETE	1000	CY	100.00	100000.00
29	REINFORCING BARS	1000	LB.	0.50	500.00
30	FORMWORK	1000	SQ. YD.	1.00	1000.00
31	ROOFING	1000	SQ. YD.	1.00	1000.00
32	MECHANICAL	1000	SQ. YD.	1.00	1000.00
33	ELECTRICAL	1000	SQ. YD.	1.00	1000.00
34	PLUMBING	1000	SQ. YD.	1.00	1000.00
35	PAINT	1000	SQ. YD.	1.50	1500.00
36	CEILING	1000	SQ. YD.	0.50	500.00
37	WALL	2000	SQ. YD.	0.50	1000.00
38	FLOOR	1000	SQ. YD.	0.25	250.00
39	CONCRETE	1000	CY	100.00	100000.00
40	REINFORCING BARS	1000	LB.	0.50	500.00
41	FORMWORK	1000	SQ. YD.	1.00	1000.00
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45	PLUMBING	1000	SQ. YD.	1.00	1000.00
46	PAINT	1000	SQ. YD.	1.50	1500.00
47	CEILING	1000	SQ. YD.	0.50	500.00
48	WALL	2000	SQ. YD.	0.50	1000.00
49	FLOOR	1000	SQ. YD.	0.25	250.00
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52	FORMWORK	1000	SQ. YD.	1.00	1000.00
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98	MECHANICAL	1000	SQ. YD.	1.00	1000.00
99	ELECTRICAL	1000	SQ. YD.	1.00	1000.00
100	PLUMBING	1000	SQ. YD.	1.00	1000.00







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A MULTI-PURPOSE FACILITY
OF GREENVILLE
1601 CLEMENT ROAD
GREENVILLE, SC 29650
TAX MAP # T10020100408
PERMIT#09-5185

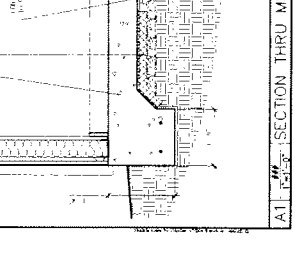
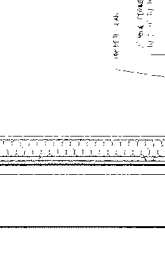
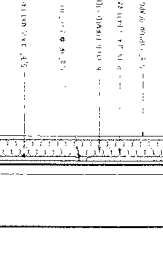
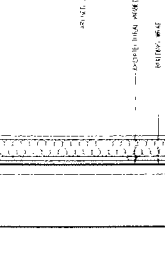
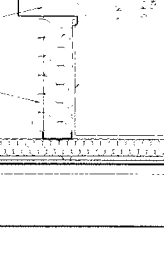
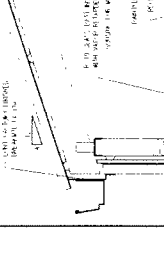
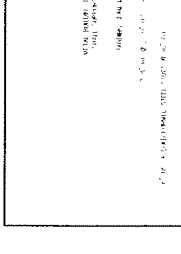
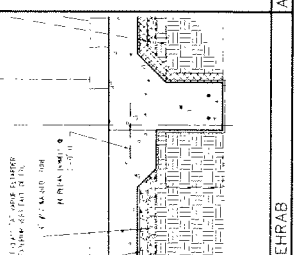
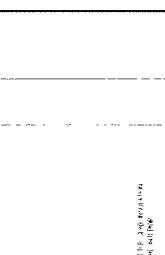
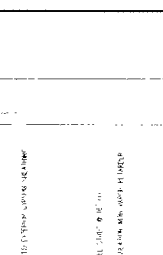
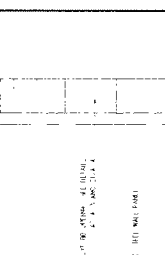
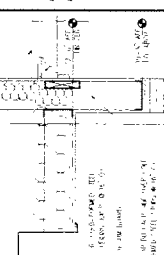
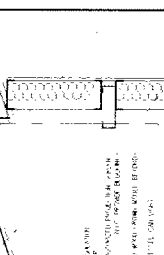
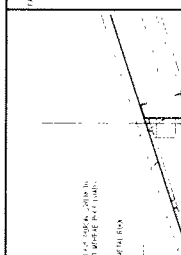
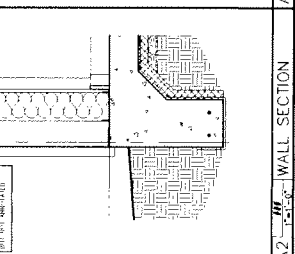
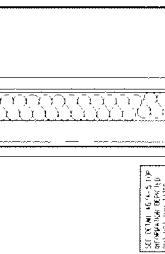
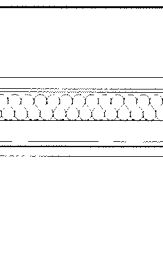
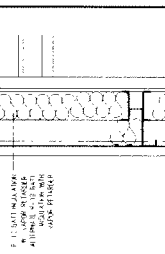
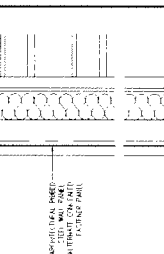
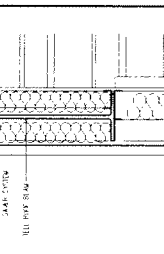
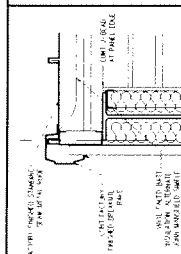
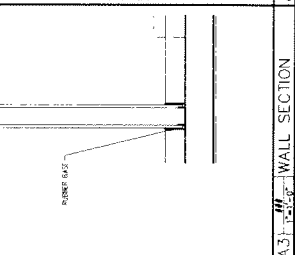
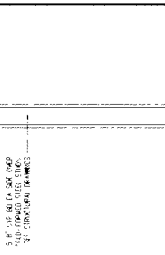
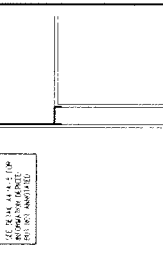
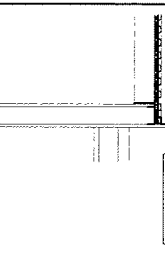
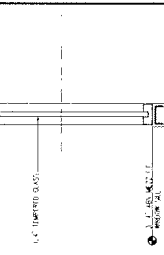
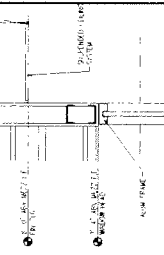
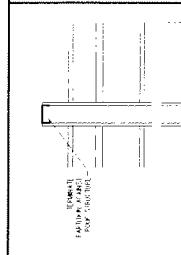
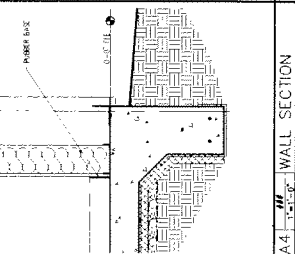
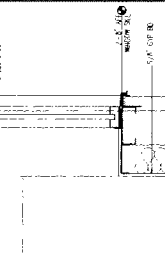
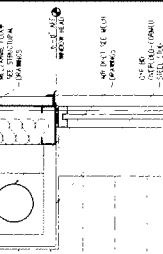
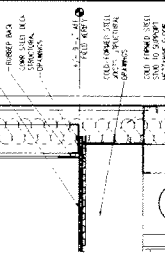
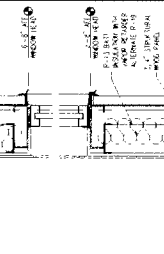
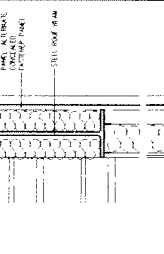
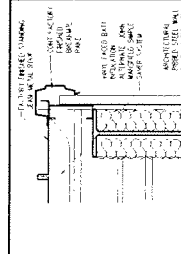
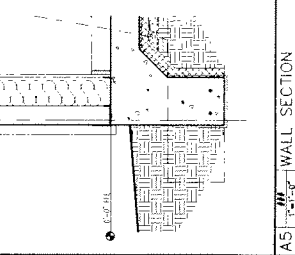
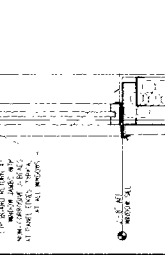
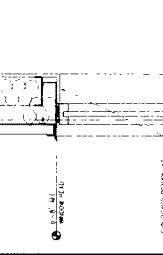
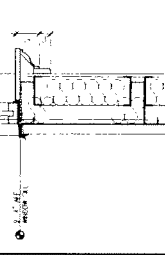
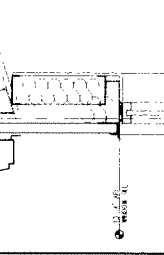
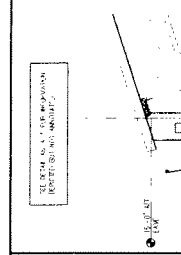
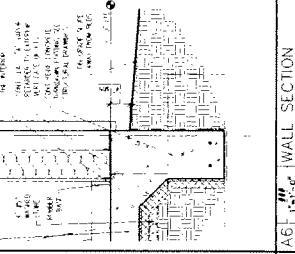
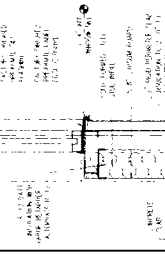
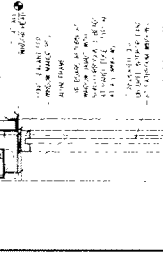
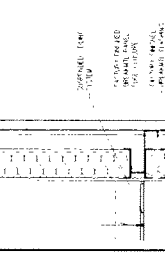
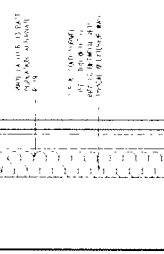
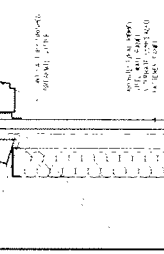
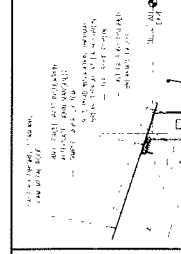
SECTION THRU MEHRAB

REVISIONS

BDD 12-02-09

WALL SECTIONS

A-5



MP-1

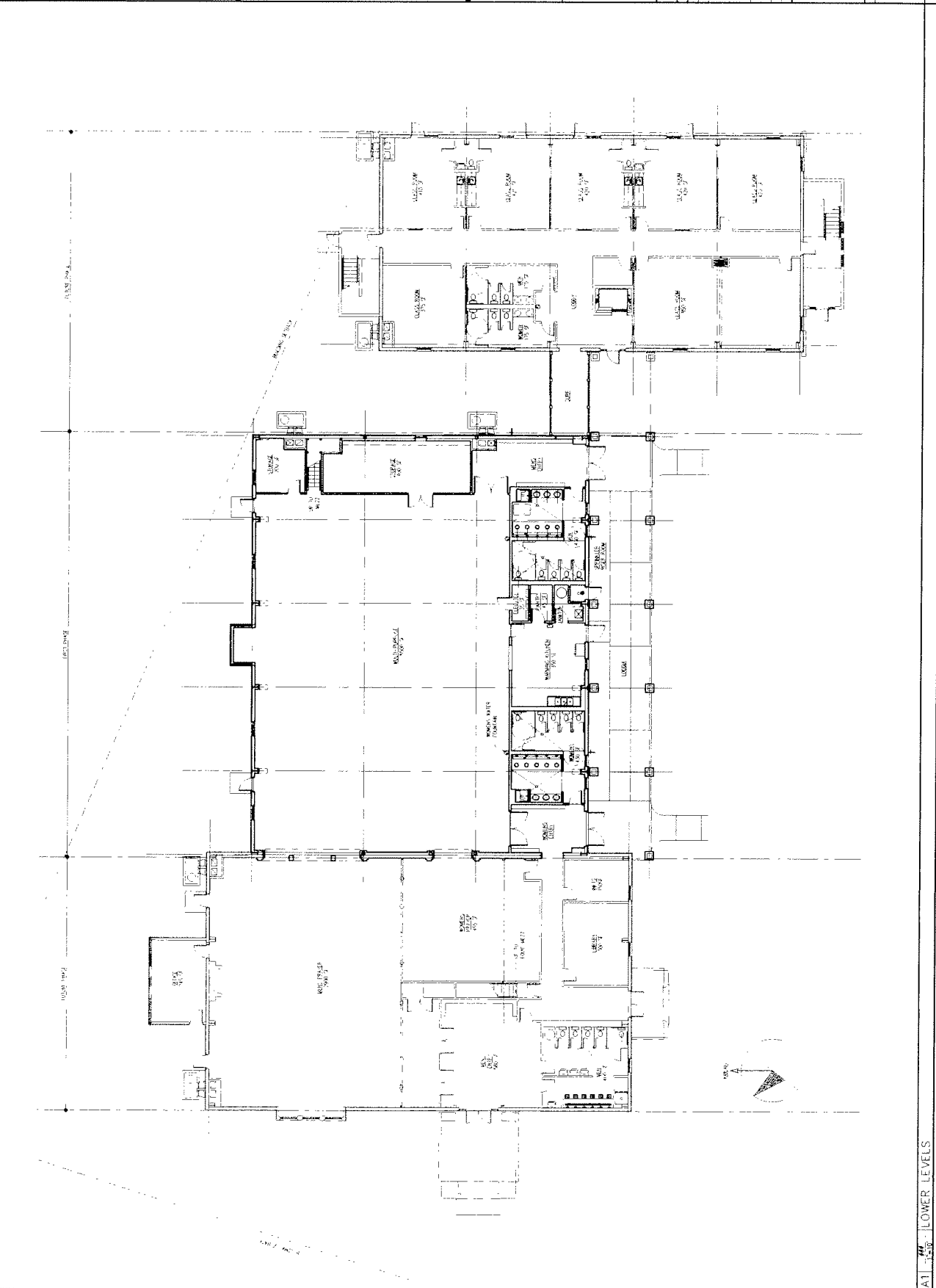
MASTER PLAN
FLOOR PLAN

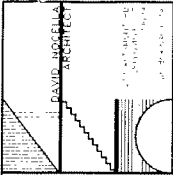
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REV: 02-09

REVISIONS

A MULTI-PURPOSE FACILITY
FOR THE ISLAMIC SOCIETY
OF GREENVILLE
1601 CLEMENT ROAD
GREER, SC 29650
TAX MAP # T10020100408
PERMIT#09-5185

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GREENVILLE, SC 29615
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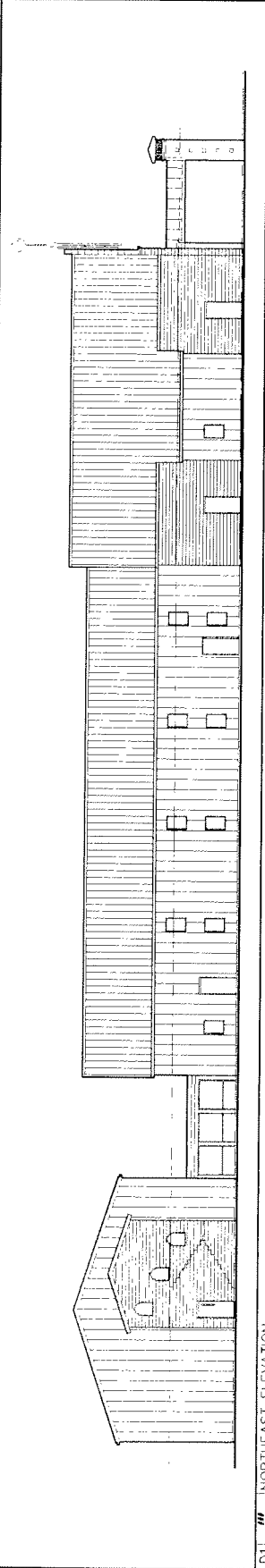
A MULTI-PURPOSE FACILITY
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1601 CLEMENT ROAD
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 TAX MAP # T10020100408
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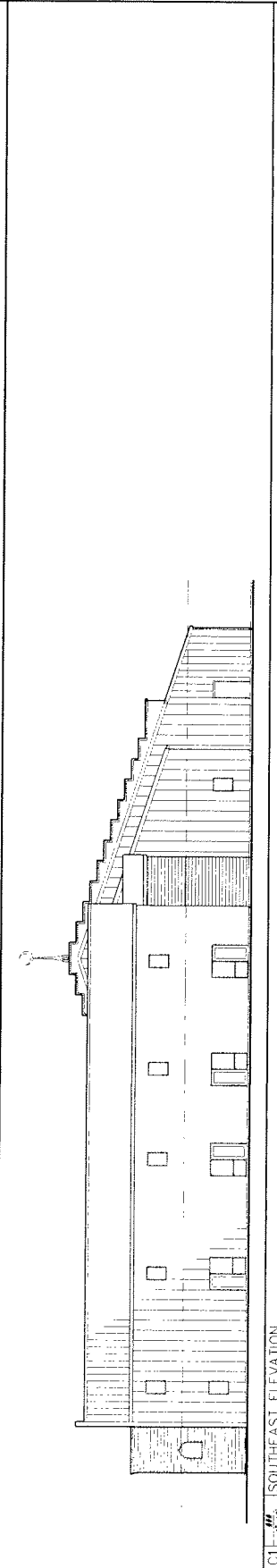
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 REVISIONS

MASTER PLAN
 EXTERIOR
 ELEVATION

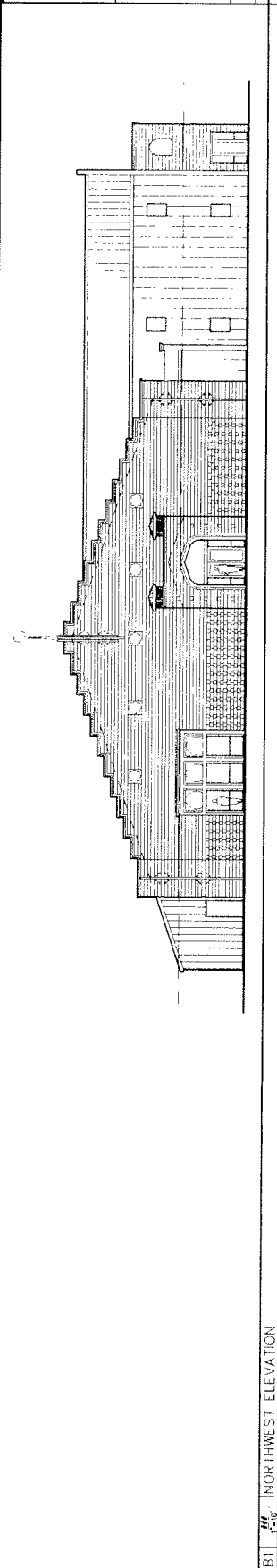
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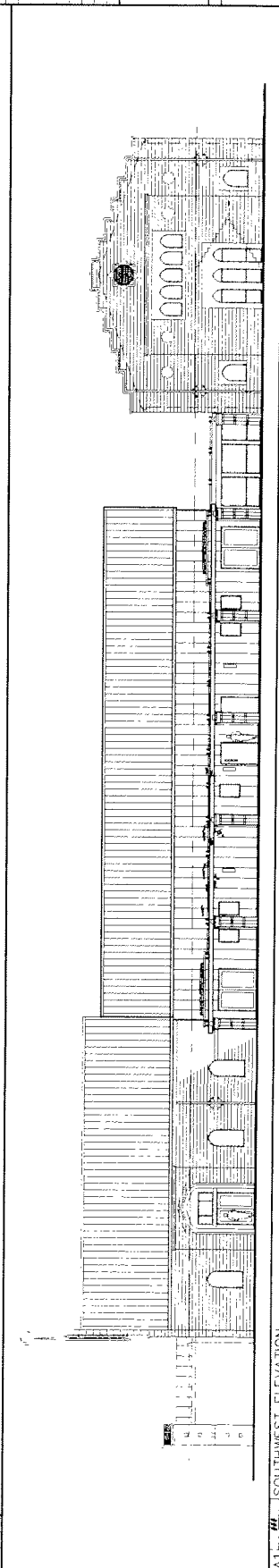
D1 | $\frac{1}{4}'' = 1'-0''$ | NORTHEAST ELEVATION



C1 | $\frac{1}{4}'' = 1'-0''$ | SOUTHEAST ELEVATION



B1 | $\frac{1}{4}'' = 1'-0''$ | NORTHWEST ELEVATION



A1 | $\frac{1}{4}'' = 1'-0''$ | SOUTHWEST ELEVATION

COUNTY OF GREENVILLE - INSPECTION CARD

GREENVILLE COUNTY INSPECTION LINE - (864) 467-5660

ON-LINE INSPECTION SCHEDULING AND RESULTING IS NOW AVAILABLE AT WWW.GREENVILLECOUNTY.ORG. YOU MUST HAVE YOUR PHONE ACCESS CODE IN ORDER TO USE THIS SITE. SIMPLY FOLLOW THE DIRECTIONS ON THE WEBSITE.

Date Issued 6-29-10 Permit Number 09-5185

Job Address 1001 CLEMENT RD Lot # _____

Nature of Work NEW CONSTRUCTION

Use of Building _____ Zoned _____ Building Setbacks: Front _____ Rear _____ Lside _____ Rside _____

Owner _____

Contractor INTERNATIONAL CONSTRUCTION LLC

FLOODPLAIN

**FAILURE TO POST THIS CARD IS A CODE VIOLATION
POST AT OR NEAR FRONT OF BUILDING AND PROTECT FROM THE WEATHER**

NO INSPECTIONS ON COMMERCIAL/INDUSTRIAL PROJECTS WITHOUT DRAWINGS STAMPED "REVIEWED" ON JOB SITE	SEPARATE PERMITS ARE REQUIRED FOR PLUMBING, ELECTRICAL AND MECHANICAL INSTALLATIONS OTHER THAN ONE & TWO FAMILY DWELLINGS	WORK SHALL NOT PROCEED UNTIL EACH DIVISION HAS APPROVED THE VARIOUS STAGES OF CONSTRUCTION	A CERTIFICATE OF OCCUPANCY IS REQUIRED PRIOR TO THE USE OF THIS BUILDING OR PORTION THEREOF. VIOLATION OF THIS REQUIREMENT IS SUBJECT TO PENALTIES AS PRESCRIBED BY LAW.
---	--	--	--

TYPE INSPECTION	OK/NO	DATE	INSPECTOR'S NAME
Footing			
Slab			
PLACE NO CONCRETE UNTIL ABOVE HAS BEEN SIGNED			
Elec. Underground			
Pipec. Underground			
Gas/Duct Undgrd.			
DO NOT POUR FLOOR UNTIL ABOVE HAS BEEN SIGNED			
Rough-In Electric			
Rough-In Plumbing			
Rough-In HVAC			
Rough-In Gas			
Rough-In Automatic Sprinkler Piping			
ABOVE MUST BE SIGNED PRIOR TO FRAMING INSPECTION			
Framing			
COVER NO WORK UNTIL ABOVE HAS BEEN SIGNED			
INSPECTIONS AFTER SHEETROCK & BEFORE FINALS			
Permanent Power			

TYPE INSPECTION	OK/NO	DATE	INSPECTOR'S NAME
FINALS AND CERTIFICATE OF OCCUPANCY REQUIRED			
Final Building			
Final Electrical			
Final Plumbing			
Final Gas			
Final HVAC			
* Final Fire			
Final Zoning			
Final Engineering			
OTHER INSPECTIONS			
Sewer			
Storm Drain			
Cooler/Refrigerator			
Hoods			
\$20.00 FEE WILL BE CHARGED IF THIS CARD IS NOT POSTED			

* CALL APPROPRIATE FIRE DISTRICT FOR INSPECTIONS (SEE APPLICATION)

Accomplishments

- The Islamic Society of Greenville has acquired 6.4 acres of land
- Site plan has been developed by EAS Engineering firm
- All permits have been obtained
- Land has been cleared
- A 200 x 160 feet building pad has been installed
- Architectural renditions of the master plan are completed
- Building phase initiated



Short Term Plan

- Create a nature walk
- Provide a picnic area
- Children's Play Area
- Create athletic field

Long Term Plan

- Prayer hall
- Library and conference room
- Banquet hall and full commercial kitchen
- Burial washing facilities
- Indoor gymnasium
- Full time Islamic Primary School

ISLAMIC SOCIETY OF GREENVILLE

ISLAMIC SOCIETY OF GREENVILLE

Greenville Community Center Project 2008

"our faith our family our future"

Greenville Community Center Project 2008

Street Address:

96 Meridian Avenue
Taylors, SC 29687
USA

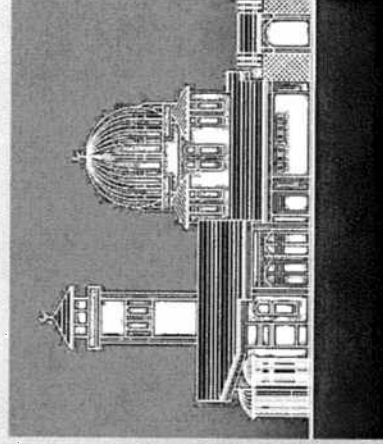
Mailing Address:

P. O. Box 25721
Greenville, SC 29650
USA

Phone:

864.292.2219

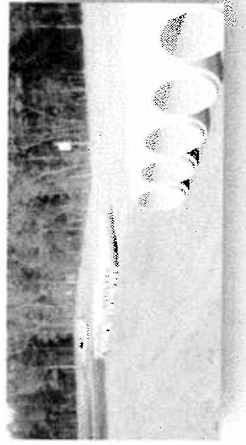
www.greenvillemasjid.com



Mission

The Islamic Society of Greenville is a non-profit organization which serves Muslims in the upstate of South Carolina. ISG is facilitating its efforts to establish an Islamic center and a fulltime Islamic primary school.

Today, The Islamic Society of Greenville is calling upon you to support the newly launched Islamic Center Fund. We owe it to the present and the future generations of Muslim youth to preserve the rich legacy of Islam. Your contributions, sacrifices and support of our work have been immeasurable and we all Insha'Allah will be rewarded by Allah (SWT). We extend our deepest gratitude for your generosity and support.



Our Plan

The ISG Planning committee has a vision that will shape our communities future. Our goal is to raise funds for an Islamic community center. The total estimated cost is approximately **\$ 1.75 Million Dollars.**

Your contributions will provide us the opportunity to build the following:

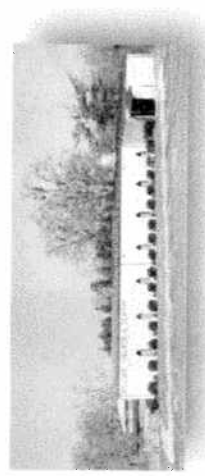
- Prayer hall
- Library and conference room
- Banquet hall and full commercial kitchen
- Indoor gymnasium
- Fulltime Islamic primary school
- Outdoor activity areas

History

Greenville has been home to many Muslims for several decades. Twenty years ago our community had no options for prayer, education and fellowship. Seeing this need, several committed Muslims started to organize and come together with the goal of establishing a Masjid.

The Islamic Society of Greenville (ISG) was established in 1987 within a rented room which served our needs for daily prayers, Jumu'ah, and our children's education. Our community rapidly outgrew this room.

Through Allah's will and mercy ISG purchased a building in 1989. All of the funds were raised from within our community. This new Masjid would become the focal point for Muslims throughout upstate South Carolina. In 1996 by an act of sheer malice our Masjid was burned down by an arsonist. With the help and mercy of Allah in 1997 we were able to rebuild the Masjid.



Presently the Muslim population within the Greenville area is estimated at 4,000 and continues to grow. Our Masjid continues to be the center for Islamic education, prayers, and overall community activities.

Current Challenges

As many communities in the West are facing challenges, the Greenville community is no exception. Unfortunately having experienced a hate crime through the hands of an arsonist we continue to persevere. Currently our greatest problem is due to our overwhelming population growth. As such we are

exceeding our

capacity for Jumu'ah prayers which makes parking quite difficult. We faced two legal battles



with the neighboring church over parking spaces, and businesses in our proximity have



forbidden the use of their parking lots.

Our inability to pray Eid Salaat in our own Masjid continues to be a problem. We continue to resort to renting banquet halls or recreation facilities to accommodate our Eid needs. Insha'Allah with your contribution we can build a facility which will meet these current deficiencies.

Understanding

The Greenville community is in need of a multi-purpose Islamic center. This center will incorporate the needs of Muslims all across the upstate of South Carolina. The center shall be a defining point in unifying the community, energizing our youth, and promoting Islam.

We believe that our task is of the utmost importance to the future of Muslims, and to the future of our community. We call on all of you to stand with us and support our efforts to build an Islamic Center.